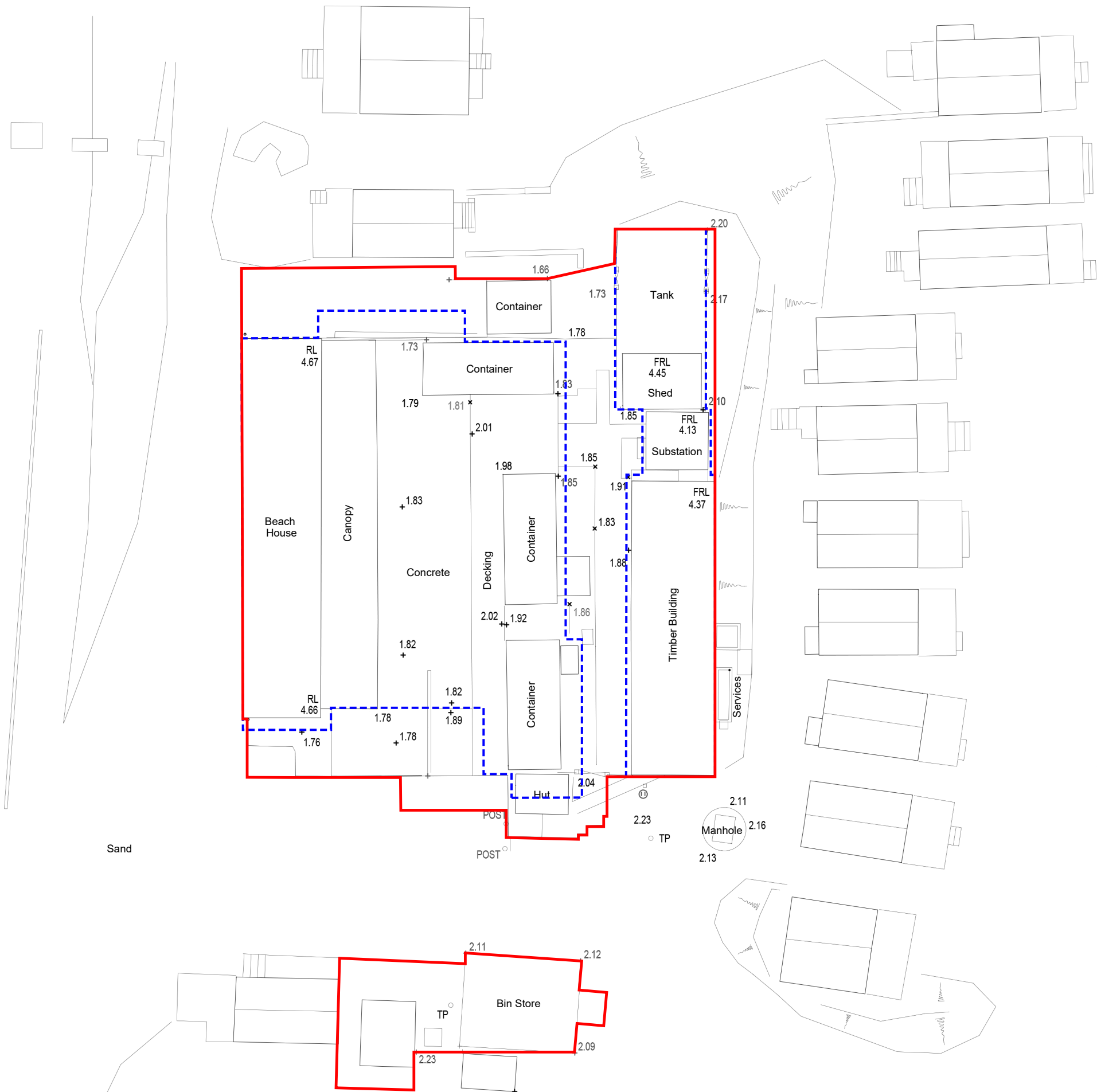


Existing Location Site Plan
1:1250



Existing Site Plan
1:200

PLANNING

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DESIGNERS RISK ASSESSMENT: HEALTH AND SAFETY THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2007

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Pre-fire / Approved
building footprint
App 7-2021-11229-O

Rev	Notes	Date
A	Red line	16.09.22

0m	1	2	3	
0m	2	4	6	
0m	10	20	30	40

1:100
1:200
1:1250

Project: Replacement Cafe
Beach House Café
The Spit
Mudeford
BH6 4EN

Client: K Slater

Drawing Title: Location Plan & Existing Site Plan

Job No: 201004

Drawn: AR/RM

Date: 28.02.22

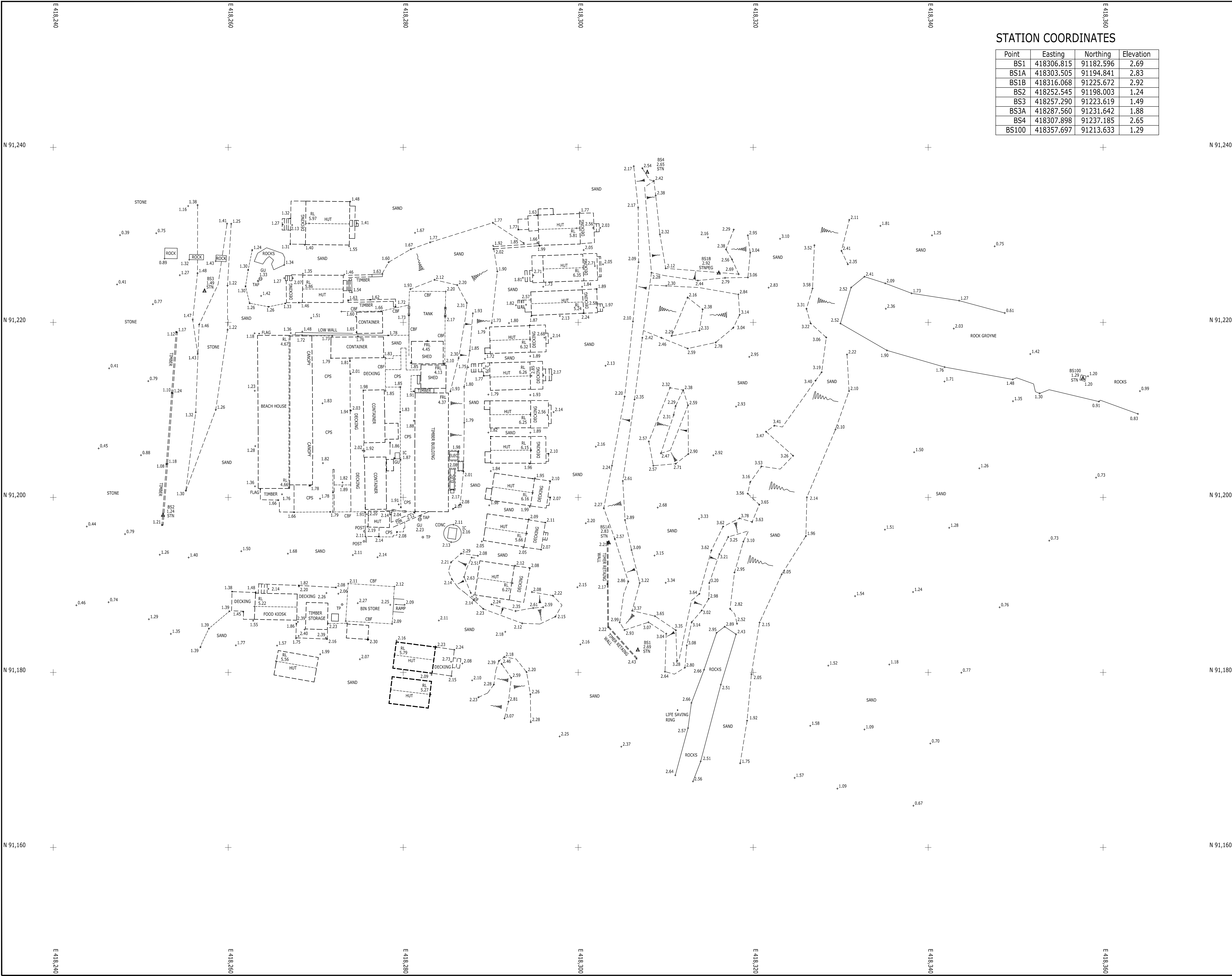
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Drawing No: PL01

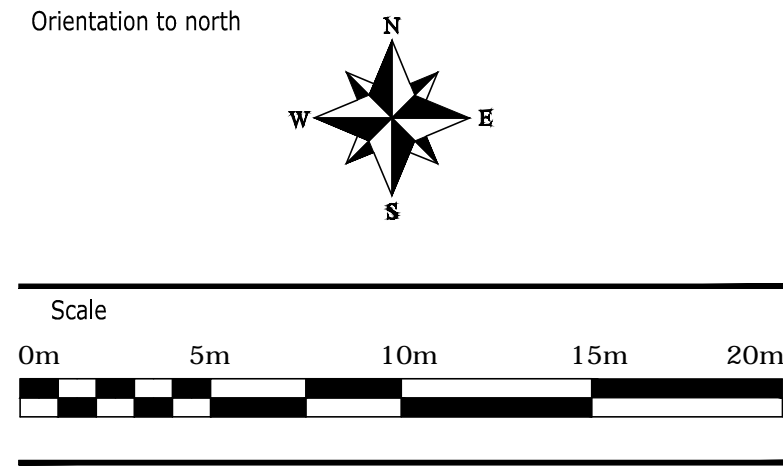
Rev: A

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LEGEND	
SERVICES/STREET FURNITURE	FOLIAGE
<div><div>ADD</div><div>ABOVE ORDNANCE DATUM</div></div> <div><div>AV</div><div>AIR VALVE</div></div> <div><div>B</div><div>BOLLARD</div></div> <div><div>BB</div><div>BELLISH BOLLARD</div></div> <div><div>BT</div><div>BRITISH TELECOM COVER</div></div> <div><div>BTB</div><div>BRITISH TELECOM JUNC. BOX</div></div> <div><div>BS</div><div>BUS STOP</div></div> <div><div>CAV</div><div>CABLE TELEVISION COVER</div></div> <div><div>CONC</div><div>CONCRETE</div></div> <div><div>CPS</div><div>CONCRETE PAVING SLABS</div></div> <div><div>CR</div><div>CROP KERN</div></div> <div><div>DP</div><div>DOWNSPIRE</div></div> <div><div>ECB</div><div>ELECTRICITY CONTROL BOX</div></div> <div><div>ELCP</div><div>ELECTRICITY CABLE FIT</div></div> <div><div>EP</div><div>ELECTRICITY POLE</div></div> <div><div>ESC</div><div>EARTH ROD COVER</div></div> <div><div>FF</div><div>FIRE FURNACE</div></div> <div><div>FL</div><div>FLOOR LEVEL</div></div> <div><div>FL</div><div>FLOOR LEVEL</div></div> <div><div>FL</div><div>FLOOR LEVEL</div></div> <div><div>GP</div><div>GATE POST</div></div> <div><div>GU</div><div>GAS VALVE</div></div> <div><div>GU</div><div>GULLY</div></div> <div><div>IC</div><div>INSPECTION COVER</div></div> <div><div>LB</div><div>LETTER BOX</div></div> <div><div>LH</div><div>LAMP HOLE</div></div> <div><div>LP</div><div>LAMP POST</div></div> <div><div>MH</div><div>MANHOLE</div></div> <div><div>MP</div><div>MANHOLE POST</div></div> <div><div>NP</div><div>ROAD NAME PLATE</div></div> <div><div>OSBM</div><div>O.S. BENCHMARK</div></div> <div><div>PCE</div><div>PRE-CAST CONCRETE EDGING</div></div> <div><div>PCK</div><div>PRE-CAST CONCRETE KERBS</div></div> <div><div>PM</div><div>PARKING METER</div></div> <div><div>RE</div><div>RECODING EYE</div></div> <div><div>RS</div><div>ROAD SIGN</div></div> <div><div>RWP</div><div>RAINWATER DOWNSPIRE</div></div> <div><div>SP</div><div>SIGN POST</div></div> <div><div>STN</div><div>SURVEY STATION</div></div> <div><div>STP</div><div>STOP PIPE</div></div> <div><div>SV</div><div>STOP VALVE/COCK</div></div> <div><div>TAP</div><div>WATER TAP/DOWNSPIRE</div></div> <div><div>TEM</div><div>TEMPORARY BENCHMARK</div></div> <div><div>TCS</div><div>TELEPHONE CALL BOX</div></div> <div><div>TH</div><div>TRIAL HOLE</div></div> <div><div>TL</div><div>TRAFFIC LIGHT</div></div> <div><div>TP</div><div>TELEGRAPH POLE</div></div> <div><div>VENT</div><div>VENT PIPE</div></div> <div><div>WL</div><div>WATER LEVEL</div></div> <div><div>WM</div><div>WATER METER</div></div> <div><div>WWSV</div><div>WATER METER/STOP VALVE</div></div> <div><div>WO</div><div>WASH OUT</div></div> <div><div>WT</div><div>WATER TROUGH</div></div> <div><div>TELEPHONE CABLE</div><div>ELECTRICITY CABLE</div></div>	<div><div>TREE CANOPY</div><div>SMALL TREES/BUSHES</div></div> <div><div>HEDGES</div><div>SPRINKLER</div><div>NO. OF TRUNKS</div></div>
BUILDINGS	
<div>HEIGHTS ABOVE FL</div> <div>CL CEILING HEIGHT</div> <div>DP DOOR HEAD HEIGHT</div> <div>F-C CELL HEIGHT</div> <div>C-H HEAD HEIGHT</div> <div>LEVELS RELATIVE TO DATUM</div> <div>FL FLOOR LEVEL</div> <div>EL EAMES LEVEL</div> <div>RL RIDGE LEVEL</div> <div>FRL FLAT ROOF LEVEL</div> <div>PL PARAPET LEVEL</div> <div>WINDOW</div> <div>DOOR</div> <div>ARCHWAY</div>	
ELECTRICAL	
<div>13AMP SOCKET</div> <div>BLANKING PLATE</div> <div>CCTV</div> <div>LIGHT SWITCH</div> <div>PIR</div> <div>SPOT LIGHT</div> <div>WALL LIGHT</div>	
FENCES	
<div>BWF BARBED WIRE FENCE</div> <div>CBF CLOSE BOARD FENCE</div> <div>CLF CHAIN LINK FENCE</div> <div>CMF CHESTNUT FENCING FENCE</div> <div>CWF CHICKEN WIRE FENCE</div> <div>IFW IRON WALKING FENCE</div> <div>PMF POST & MESH FENCE</div> <div>PPF POST & RAIL FENCE</div> <div>PPF POST & WIRE FENCE</div> <div>SF STOCK FENCE</div> <div>GATE</div> <div>STILE</div>	
FIRE	
<div>BREAK GLASS CALL POINT</div> <div>SMOKE ALARM</div> <div>DRY RISER OUTLET</div>	
FURNITURE	
<div>ACCESS POINT</div>	



Notes

This survey has been computed and drawn about a plane local grid and was surveyed for a scale of 1:200, any subsequent enlargements should be verified on site.

Whilst every care has been taken, no responsibility can be accepted for errors or omissions caused by detail obscured or not accessible at the time of this survey.

Visible features in the vicinity of the boundaries, as shown on this survey, may not represent the extent of legally conveyed ownership.

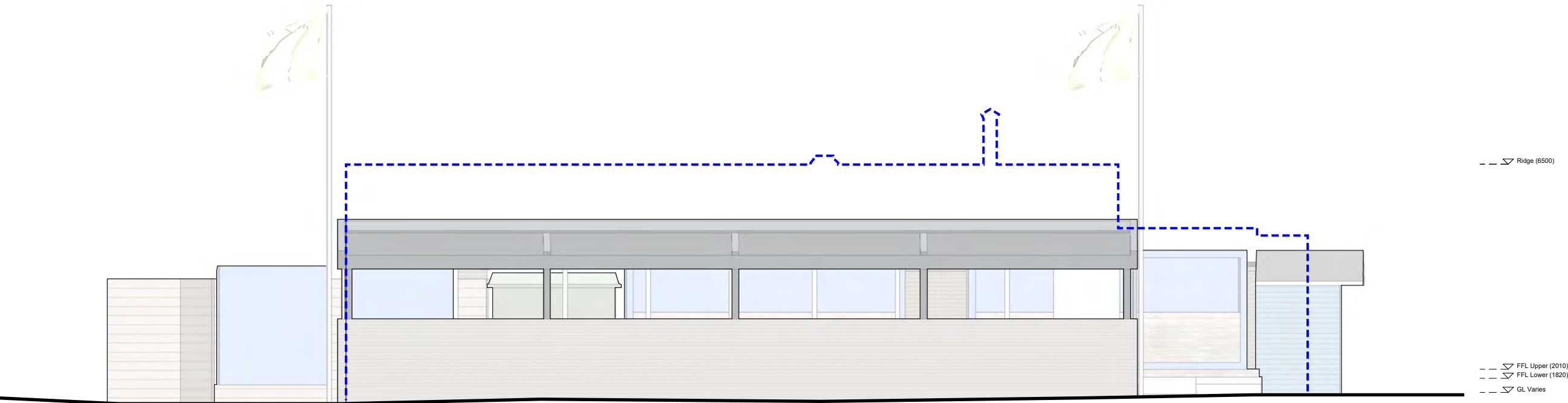
Revisions

Baypoint surveys

Land Surveys
Site Setting Out
3D Laser Scanning
Measured Building Surveys

Baypoint Surveys Ltd, 82 Castle Lane West, Bournemouth, BH9 3JU
T 01202 511503 M 07770 386996
E info@baypoint.co.uk W www.baypoint.co.uk

project	Mudefold Beach House Cafe The Spit Christchurch
client	BCP Council
drawing title	Topographical Survey
scale	1:200
paper size	A1
drawn by	BL
checked by	SPB
date	18.09.19
grid	OS National Grid
datum	OS Datum
drawing number	2926-SV-1
revision	

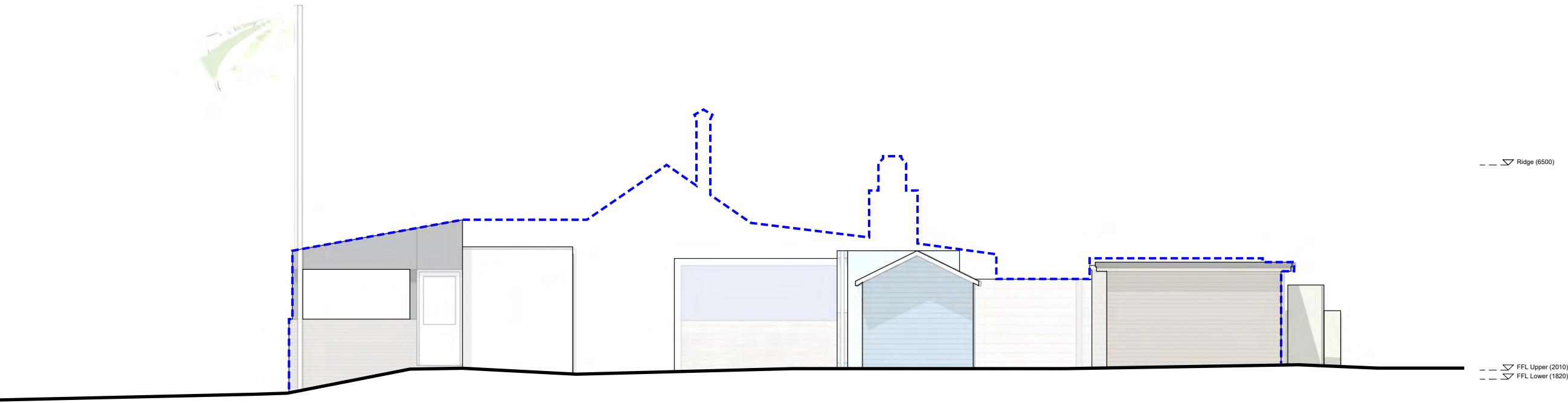


Existing West Elevation
1:100

-- ∇ Ridge (6500)

-- ∇ FFL Upper (2010)
-- ∇ FFL Lower (1820)
-- ∇ GL Varies

-- ∇ 000



Existing South Elevation
1:100

-- ∇ Ridge (6500)

-- ∇ FFL Upper (2010)
-- ∇ FFL Lower (1820)

-- ∇ 000

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DESIGNERS RISK ASSESSMENT:
HEALTH AND SAFETY
THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2007

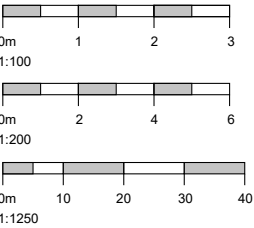
Building Products and Construction Execution Hazards

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THESE DRAWINGS ARE FOR
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ARE NOT FOR CONSTRUCTION

Pre-fire / Approved
building profile
App 7-2021-11229-O



Project: Replacement Cafe
Beach House Café
The Spit
Mudeford
BH6 4EN

Client: K Slater

Drawing Title: Existing Elevations

Job No: 201004

Drawn: AR/RM

Date: 28.02.22

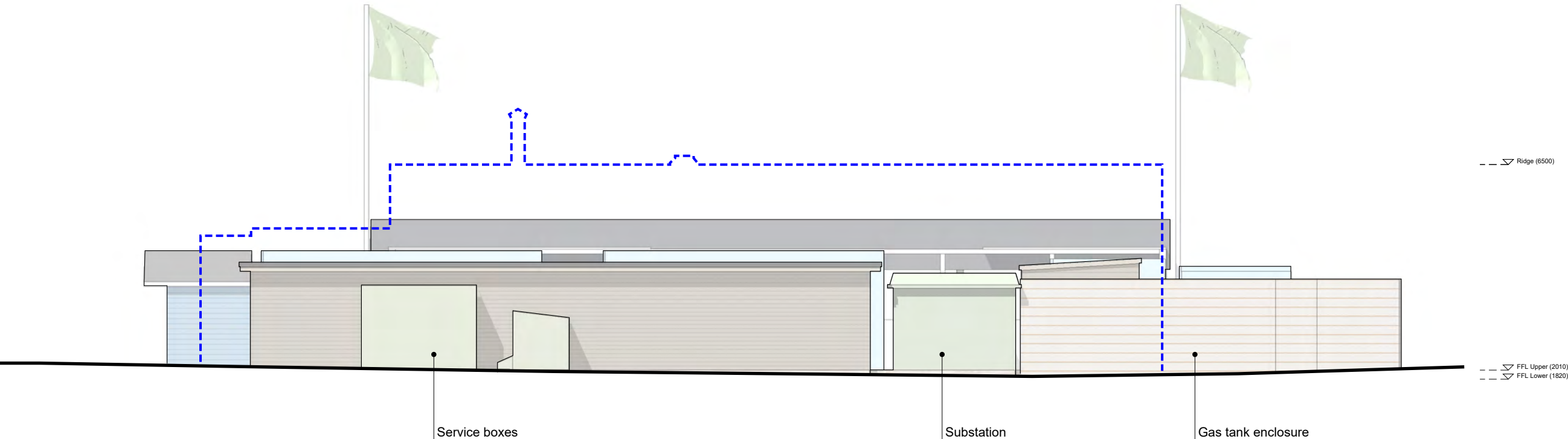
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Drawing No: PL02

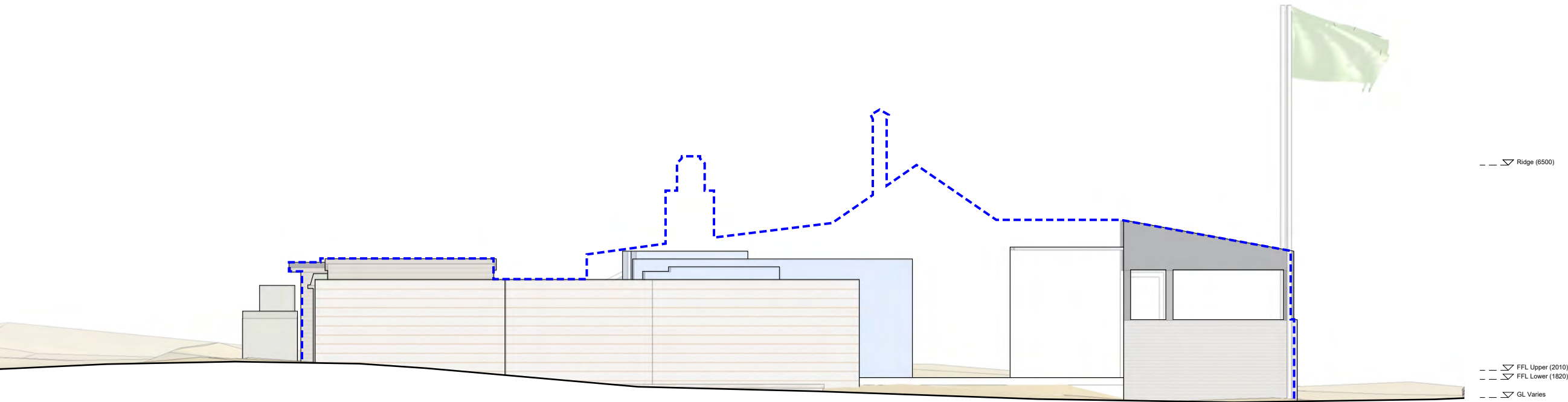
Rev:

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Existing East Elevation
1:100



Existing North Elevation
1:100

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HEALTH AND SAFETY
THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2007

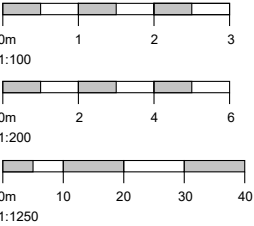
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Pre-fire / Approved
building profile
App 7-2021-11229-O



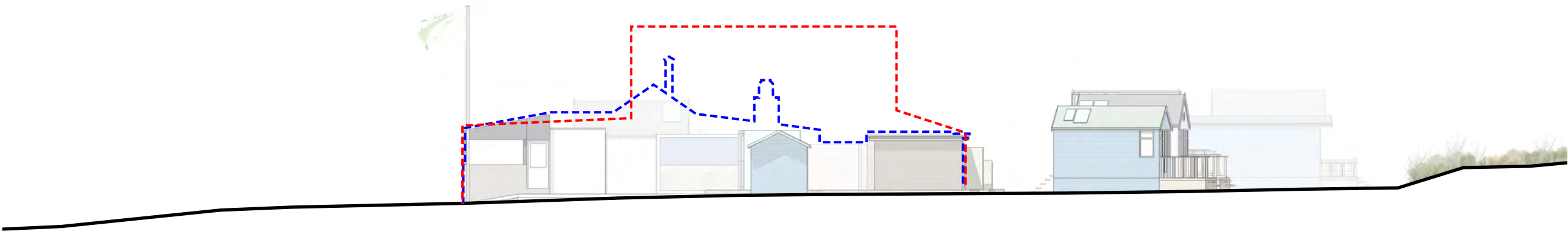
Project: Replacement Cafe
Beach House Café
The Spit
Mudford
BH6 4EN

Client: K Slater
Drawing Title: Existing Elevations

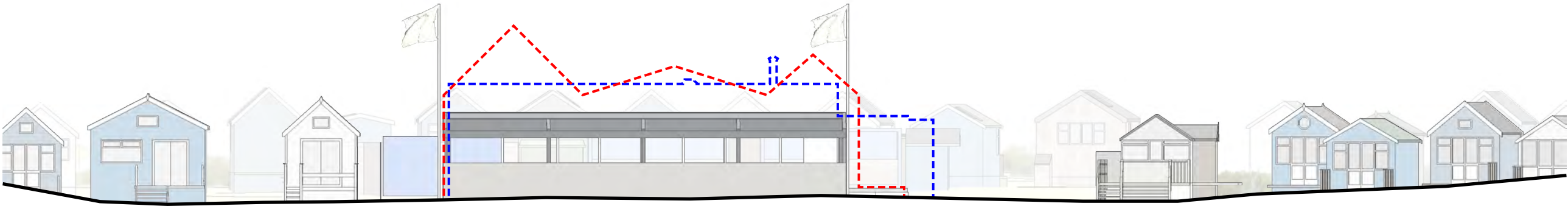
Job No: 201004
Drawn: AR/RM
Date: 28.02.22
Scale: As Indicated @ A3

Drawing No: PL03
Rev:

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Existing South Contextual Elevation
1:200



Existing West Contextual Elevation
1:200

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DESIGNERS RISK ASSESSMENT:
HEALTH AND SAFETY
THE CONSTRUCTION (DESIGN AND
MANAGEMENT) REGULATIONS 2007

Building Products and Construction Execution
Hazards

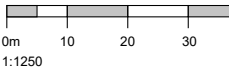
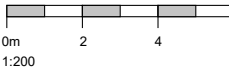
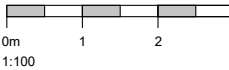
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Pre-fire / Approved
building profile
App 7-2021-11229-O

Profile of Refused
Structure
App 7-2020-11229-M



Project: Replacement Cafe
Beach House Café
The Spit
Mudford
BH6 4EN

Client: K Slater

Drawing Title: Existing Context
Elevations

Job No: 201004

Drawn: AR/RM

Date: 28.02.22

Scale: As Indicated @ A3

Drawing No: PL04

Rev:

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DESIGNERS RISK ASSESSMENT: HEALTH AND SAFETY THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2007

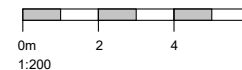
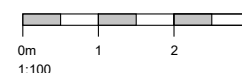
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Rev	Notes	Date
A	Bike rack location	16.09.22



Project: Replacement Cafe
Beach House Café
The Spit
Mudford
BH6 4EN

Client: K Slater
Drawing Title: Proposed Site / Roof Plan

Job No: 201004

Drawn: AR/RM

Date: 28.02.22

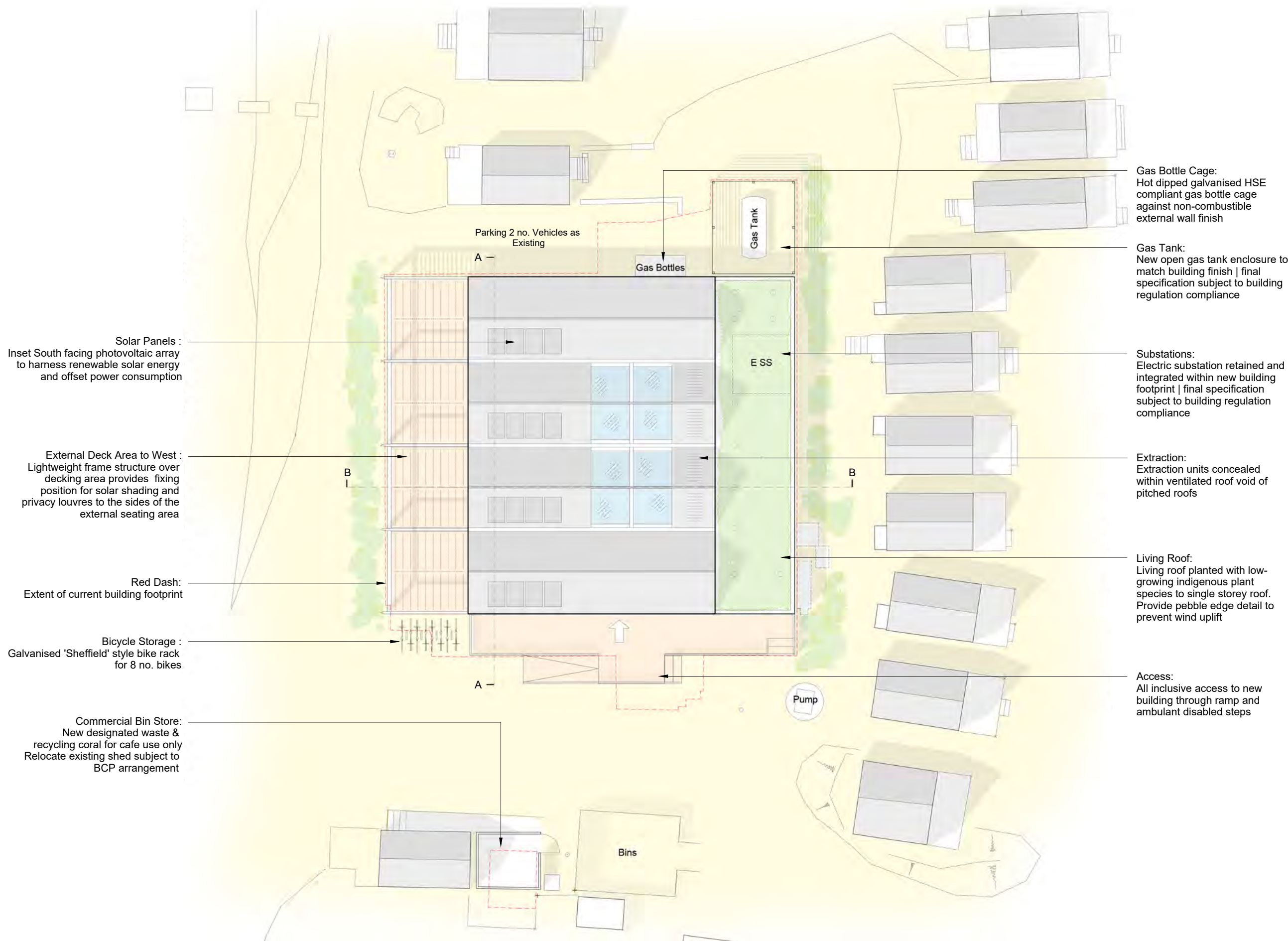
Scale: As Indicated @ A3

Drawing No: PL05

Rev: A

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Solar Panels :
Inset South facing photovoltaic array
to harness renewable solar energy
and offset power consumption

External Deck Area to West :
Lightweight frame structure over
decking area provides fixing
position for solar shading and
privacy louvres to the sides of the
external seating area

Red Dash:
Extent of current building footprint

Bicycle Storage :
Galvanised 'Sheffield' style bike rack
for 8 no. bikes

Commercial Bin Store:
New designated waste &
recycling coral for cafe use only
Relocate existing shed subject to
BCP arrangement

Gas Bottle Cage:
Hot dipped galvanised HSE
compliant gas bottle cage
against non-combustible
external wall finish

Gas Tank:
New open gas tank enclosure to
match building finish | final
specification subject to building
regulation compliance

Substations:
Electric substation retained and
integrated within new building
footprint | final specification
subject to building regulation
compliance

Extraction:
Extraction units concealed
within ventilated roof void of
pitched roofs

Living Roof:
Living roof planted with low-
growing indigenous plant
species to single storey roof.
Provide pebble edge detail to
prevent wind uplift

Access:
All inclusive access to new
building through ramp and
ambulant disabled steps

Proposed Site Plan
1:200



Key Design Principles

A simple and recognisable form, modest in scale, presenting a clear and uncluttered building for all users to enjoy

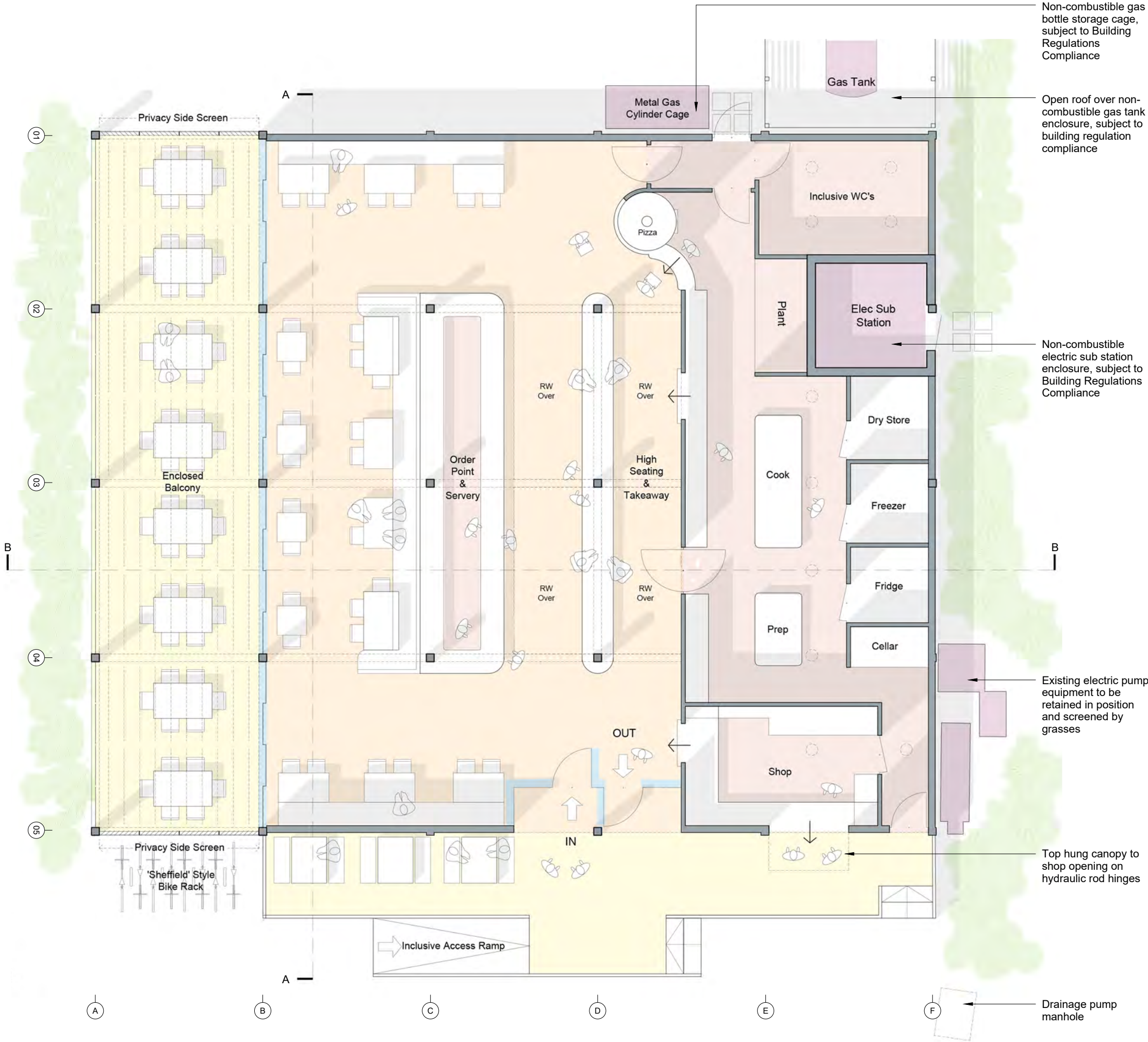
- *Accessible for all
- *Building with a clear identity and sense of place
- *Recognisable form harmonises with setting and character of site
- *Unified and uncluttered visual appearance
- *Facing materials will be robust and low maintenance
- *Lightweight and modular construction
- *Minimise physical and environmental impact
- *Harness solar energy and natural daylight
- *Enhanced privacy and outlook for nearby beach hut residents
- *Perimeter dune grasses to promote stability and living rood to encourage wildlife
- *Positive asset for all visitors

Typical Construction

A modular building from pre made components, constructed off site to minimise time, noise, cost and construction traffic

- *Pre cast concrete piles with modular galvanised steel frame set over
- *Pre cast concrete floor planks to support walls
- *SIPS modular wall and roof panels
- *Non combustibile, pre weathered materials
- *Robust roofing material and rainwater goods

Proposed Floor Plan
1:100



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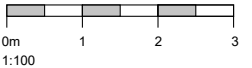
DESIGNERS RISK ASSESSMENT:
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THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2007
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Rev	Notes	Date
A	Bike rack location	16.09.22



Project: Replacement Cafe
Beach House Café
The Spit
Mudeford
BH6 4EN

Client: K Slater
Drawing Title: Proposed Floor Plan

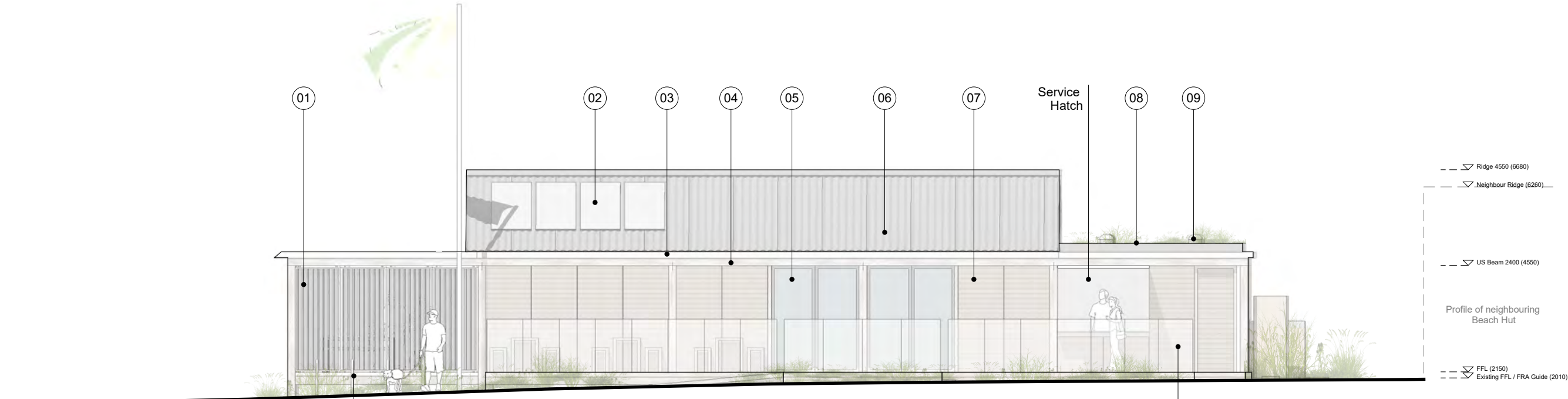
Job No: 201004
Drawn: AR/RM
Date: 28.02.22
Scale: As Indicated @ A3

Drawing No: PL06
Rev: A

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Proposed West Elevation
1:100



Proposed South Elevation
1:100

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Materials

- 01 PPC aluminium fixed angle privacy fins mid grey colour
- 02 Inset PV panels matt finish
- 03 PPC aluminium rainwater goods mid grey colour
- 04 Fibre cementitious cladding strips silver oak colour
- 05 PPC aluminium glazing frames mid grey colour
- 06 Corrugated fibre cementitious roof panels anthracite colour
- 07 Fibre cementitious cladding strips silver oak colour
- 08 Green roof | Sea hardened durable sedum mix in lightweight growing medium over EPDM roof
- 09 Flat roof sun tunnel
- 10 Frameless glass balustrade

Rev	Notes	Date
A	Bike rack relocated	16.09.22



Project: Replacement Cafe
Beach House Café
The Spit
Mudford
BH6 4EN

Client: K Slater

Drawing Title: Proposed West & South Elevations

Job No: 201004

Drawn: AR/RM

Date: 28.02.22

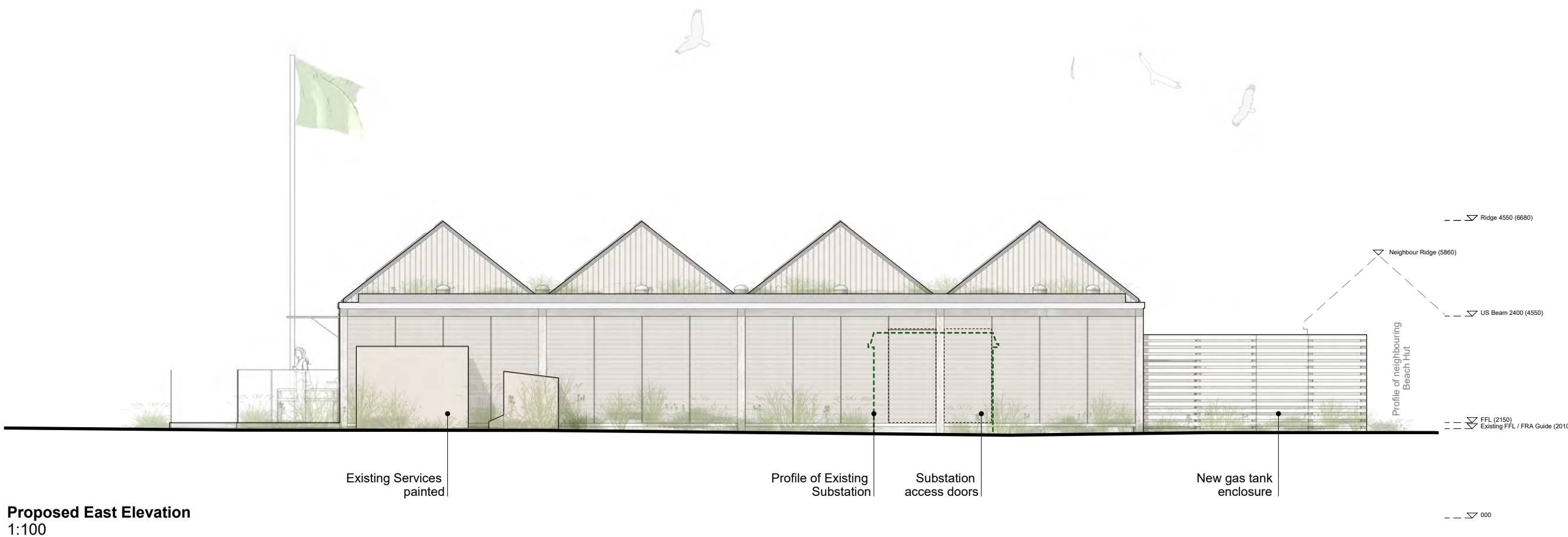
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Drawing No: PL07

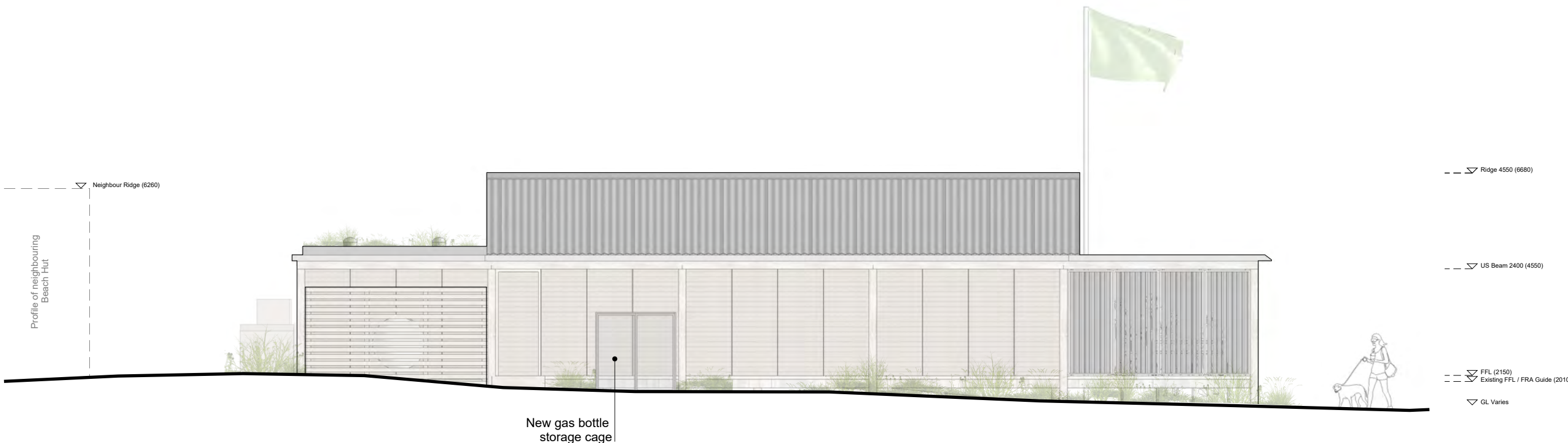
Rev: A

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Proposed East Elevation
1:100



Proposed North Elevation
1:100

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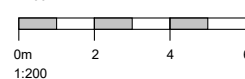
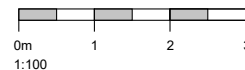
Building Products and Construction Execution Hazards

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Rev	Notes	Date
A	Bike rack removed	16.09.22



Project: Replacement Cafe
Beach House Café
The Spit
Mudeford
BH6 4EN

Client: K Slater
Drawing Title: Proposed East & North
Elevations

Job No: 201004
Drawn: AR/RM
Date: 28.02.22
Scale: As Indicated @ A3

Drawing No: PL08
Rev: A

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DESIGNERS RISK ASSESSMENT: HEALTH AND SAFETY THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2007

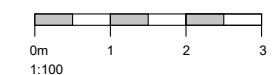
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Rev	Notes	Date
A	AOD to Dimensions	23.11.22



Project: Replacement Cafe
Beach House Café
The Spit
Mudeford
BH6 4EN

Client: K Slater
Drawing Title: Proposed Sections

Job No: 201004

Drawn: AR/RM

Date: 28.02.22

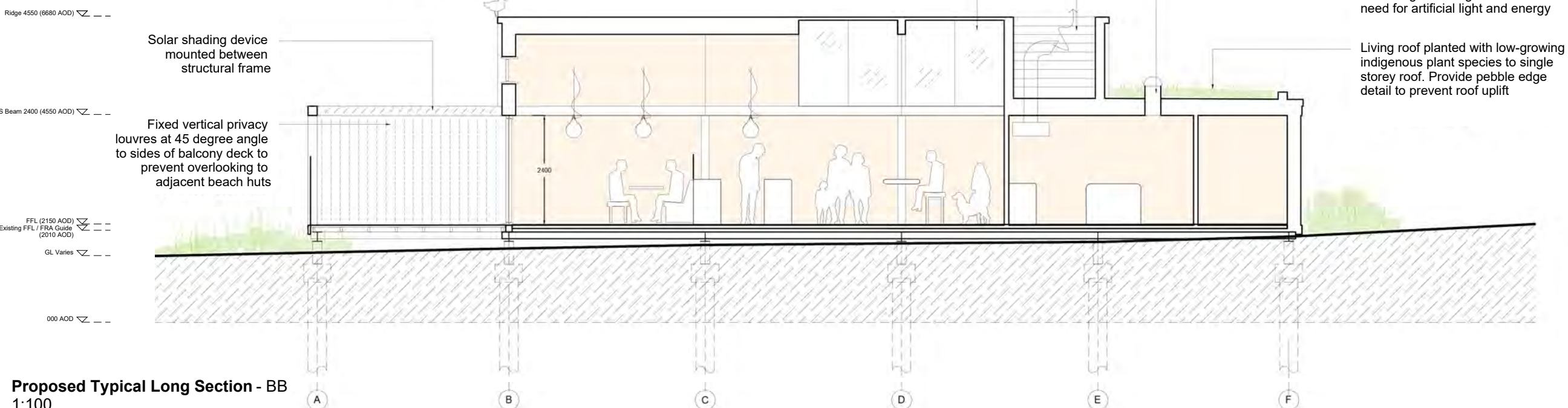
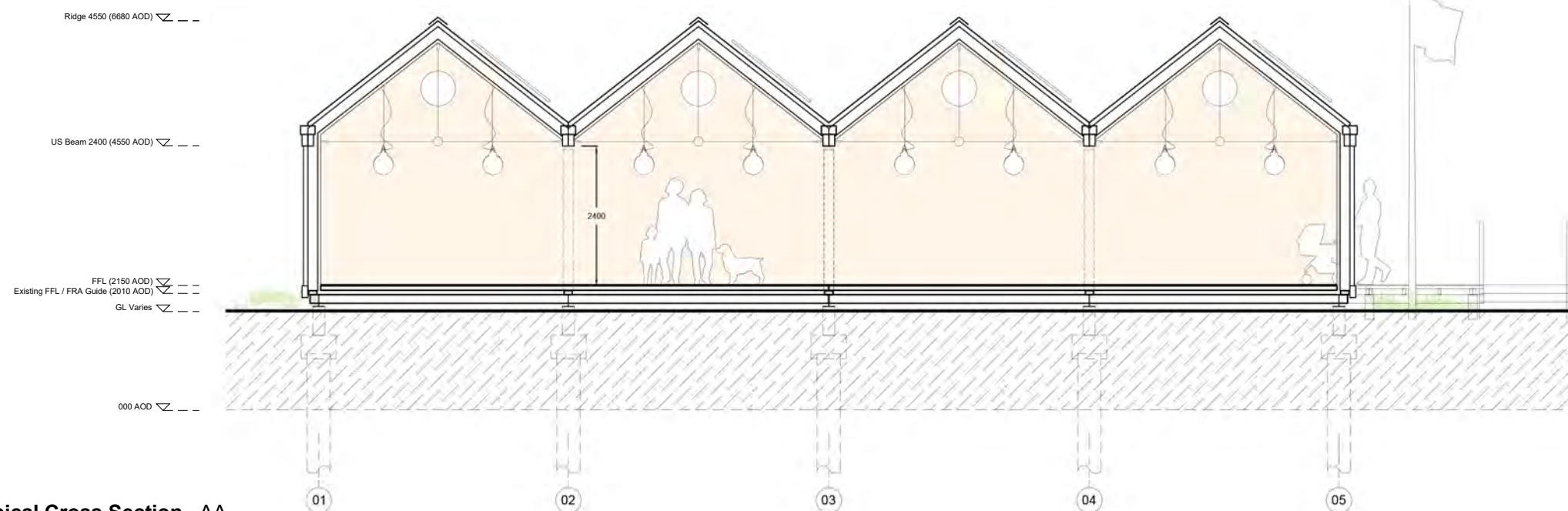
Scale: As Indicated @ A3

Drawing No: PL09
Rev: A

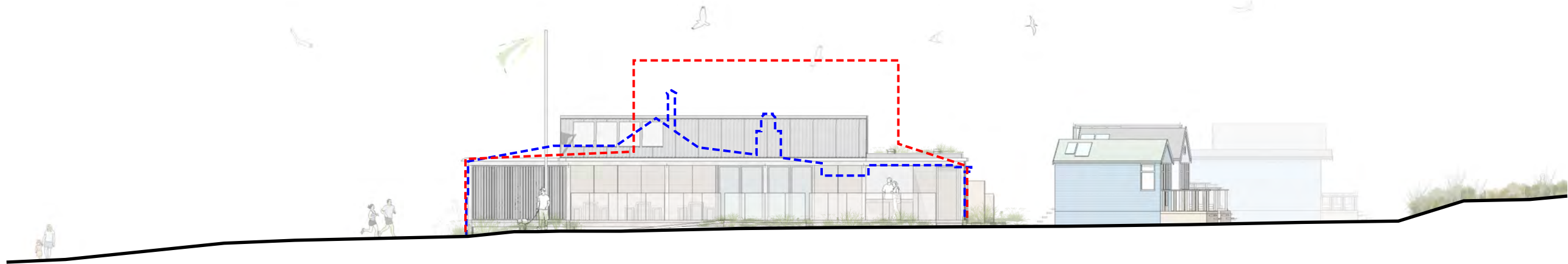
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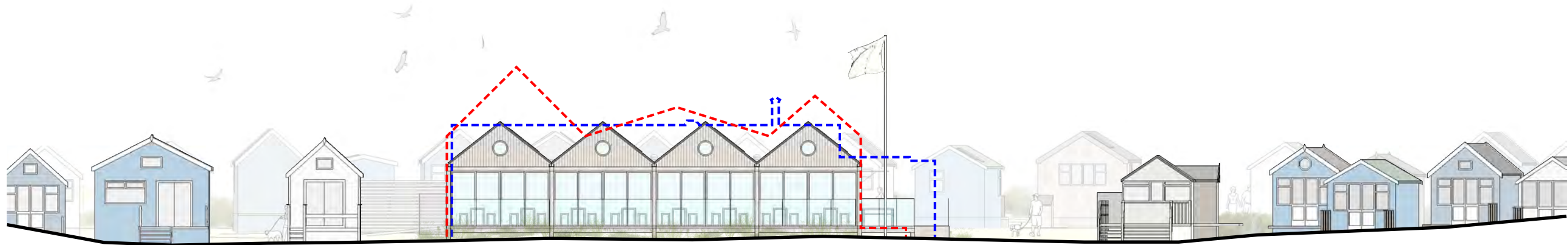
Proposed Typical Cross Section - AA
1:100



Proposed Typical Long Section - BB
1:100



Proposed South Contextual Elevation
 1:200



Proposed West Contextual Elevation
 1:200

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DESIGNERS RISK ASSESSMENT:
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Building Products and Construction Execution Hazards

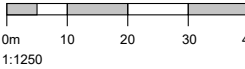
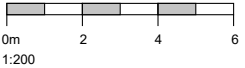
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Pre-fire / Approved
 building profile
 App 7-2021-11229-O

Profile of Refused
 Structure
 App 7-2020-11229-M



Project: Replacement Cafe
 Beach House Café
 The Spit
 Mudeford
 BH6 4EN

Client: K Slater

Drawing Title: Proposed Context
 Elevations

Job No: 201004

Drawn: AR/RM

Date: 28.02.22

Scale: As Indicated @ A3

Drawing No: PL10

Rev:

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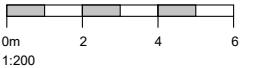
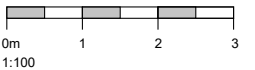
DESIGNERS RISK ASSESSMENT:
HEALTH AND SAFETY
THE CONSTRUCTION (DESIGN AND
MANAGEMENT) REGULATIONS 2007

Building Products and Construction Execution
Hazards

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Project: Replacement Cafe
Beach House Café
The Spit
Mudford
BH6 4EN

Client: K Slater

Drawing Title: Proposed Floor Areas

Job No: 201004

Drawn: AR/RM

Date: 16.09.22

Scale: As Indicated @ A3

Drawing No: PL11

Rev:

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Proposed Internal Restaurant
Floorspace
89m²

Proposed External Covered
Restaurant Seating Area
72m²

Proposed Services, Store, Shop
& Kitchen Area
113m²

Proposed Takeaway Area
76m²

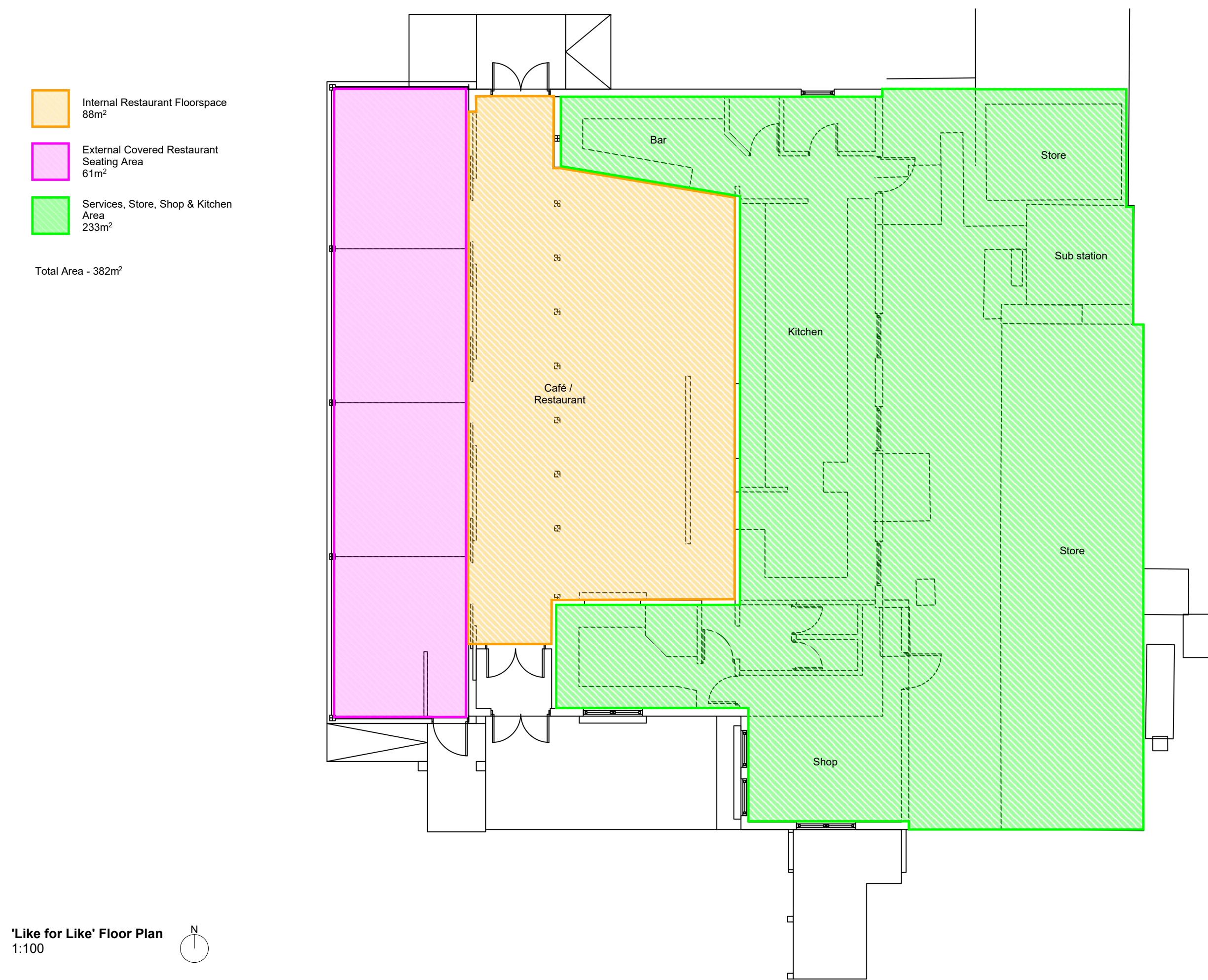
Total Area (excl. servery) - 350m²

Total Area (incl. servery) - 371m²

GFA - 410m²

Proposed Floor Plan
1:100





Internal Restaurant Floorspace
88m²

External Covered Restaurant
Seating Area
61m²

Services, Store, Shop & Kitchen
Area
233m²

Total Area - 382m²

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Building Products and Construction Execution Hazards

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0m 1 2 3
1:100

0m 2 4 6
1:200

Project: Replacement Cafe
Beach House Café
The Spit
Mudford
BH6 4EN

Client: K Slater
Drawing Title: Like for Like Floor Areas

Job No: 201004
Drawn: AR/RM
Date: 16.09.22
Scale: As Indicated @ A3

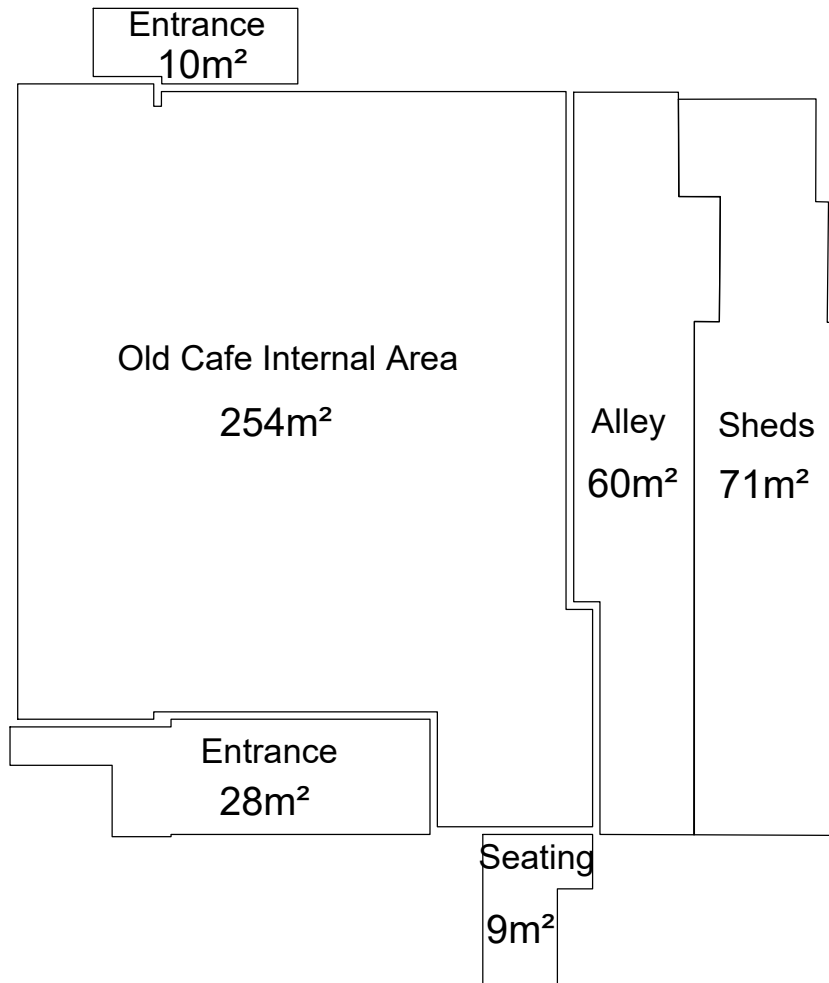
Drawing No: PL12
Rev:

'Like for Like' Floor Plan
1:100

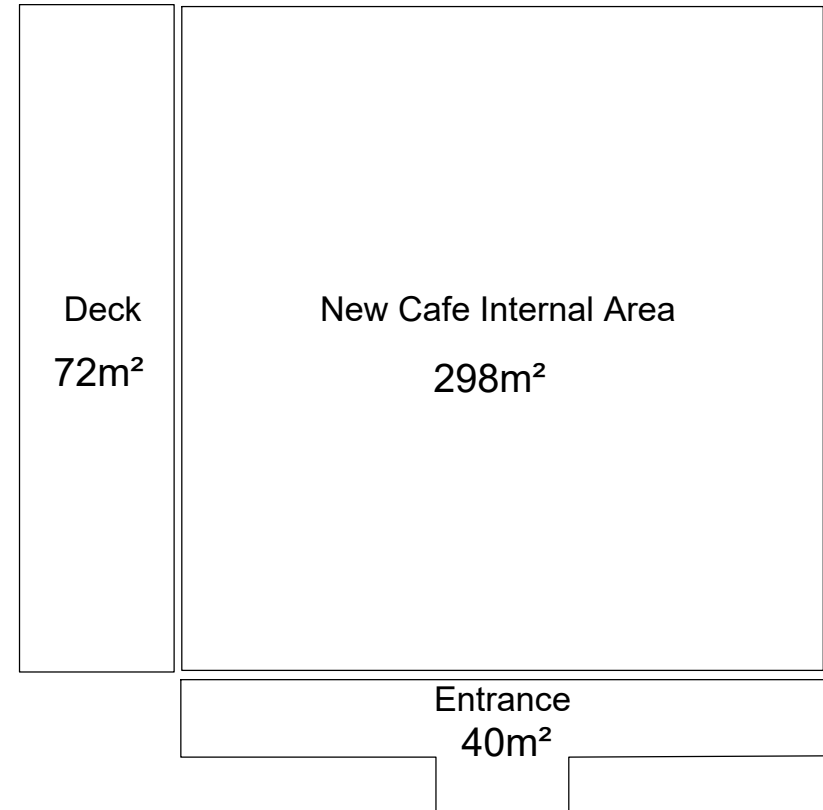


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Old Cafe Floor Areas - Total 431m²
1/200



Proposed Cafe Floor Areas - Total 410m²
1/200

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Please see structural engineers specification prior to any construction works

PROJECT: Mudeford Beach Cafe
TITLE: Floor Area Comparison
DRAWING NO: ---

STATUS: Comment
SCALE: 1:200 @ A4
DATE: 09.16.22

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